

AGENDA

LAND USE AND DESIGN REVIEW COMMITTEE

July 14, 2011
9:00 A.M.

**Laguna Woods City Hall
Council Chambers
24264 El Toro Road
Laguna Woods, CA 92637122**

AGENDA DESCRIPTION: The Agenda descriptions are intended to give notice, to members of the public, of a general summary of items of business to be transacted or discussed. Any person wishing to address the Land Use and Design Review Committee on any matter, whether or not it appears on this agenda, may do so under the appropriate section of the agenda. Whenever possible, lengthy testimony should be presented to the Committee in writing (12 copies) and only pertinent points presented orally. Requests to speak to items on the agenda shall be heard at the appropriate point on the agenda; requests to speak about subjects not on the agenda will be heard during the Public Comment section of the meeting.

I. CALL TO ORDER

II. ROLL CALL

III. COMMITTEE BUSINESS

- A. Site Development Permit SDP-713: Gate 1 Entrance
(Attachment)

RECOMMENDED ACTION: Discuss and approve the site development permit (SDP-713), as submitted or with modifications.

IV. PENDING PROJECT UPDATE

- A. Moulton/El Toro Construction
B. City Centre Park Construction
C. Ridge Route Multimodal Trail
C. Urban Activity Center Specific Plan

V. COMMITTEE MEMBER COMMENTS

VII. ADJOURN

The next regularly scheduled meeting is August 11, 2011; meetings may be cancelled if there is a lack of agenda items.

City of Laguna Woods Agenda Report

DATE: July 14, 2011 Land Use and Design Review Committee

TO: Chairman and Members of the Land use and Design Review Committee

FROM: Deborah Drasler, City Planner *DD*

AGENDA ITEM: Site Development Permit SDP-713: Gate 1 entrance into the Laguna Woods Village Community at 24102 El Toro Road.

Recommendation

Discuss and approve the Site Development Permit (SDP-713), as submitted or with modifications.

Background

RJM Design Group has filed an application on behalf of PCM for a Site Development Plan for the construction of a new guard house and exterior renovations at the Gate 1 entrance into the Laguna Woods Village Community.

When Laguna Woods Village (formerly known as Leisure World) was originally constructed, almost all of the 14 gates were built in the mid 1960's with a few exceptions that were built in the early 1970's.

In July of 1991, Gate 1 was approved for modifications. As currently existing, Gate 1 entrance includes a 149 square foot guardhouse, eight parking spaces, and a non-closing entrance gate.

In September 2008, the City of Laguna Woods approved SP-339 to permit fourteen "Laguna Woods Village" entry gate signs throughout Laguna Woods Village.

In 2009, the City approved a revised Site Development Permit SP-517 which altered the size of the previously approved entry gate signs.

The subject property is zoned RC “Residential Community” which allows the development and preservation of planned unit developments. Section 13.08.010 of the Municipal Code lists gate houses as a permitted use only as an accessory to a principal use on site.

Surrounding Land Uses include the following:

Location	Land Use designation	Land Use
North	RC Residential Community	Gate 5 Entrance
South	RC Residential Community	Residential
East	RC Residential Community	Residential
West	RC Residential Community	Residential

The application was deemed complete on June 20, 2011. The proposed Gate 1 Entrance is consistent with the City of Laguna Woods Zoning Code and General Plan with the approval of a Site Development Permit.

Discussion

Issue 1: Site Design

As proposed, the Gate 1 guard house building is 13’-6” in height and 275 square feet in size. The building includes a security office area with the capacity for a maximum of three officers, ADA compliant restroom, and a storage area with exterior access.

The buildings architecture is Mediterranean style with two piece clay roof tile, smooth Santa Barbara Finish, copper gutters, decorative wall light fixtures and large windows along the north, east, and west elevations. The proposed color scheme utilizes warm earth tones.

In addition to the new guard house building, renovations will include improvements to the traffic flow for residents and guests entering the gate and security at the gate. The existing gates that currently remain permanently in the “open position” will be removed to accommodate the reposition of the gatehouse. New gates maybe proposed at a future date.

Additional site improvements include the demolition and construction of new AC pavement, sidewalks, curbs, concrete ramps and landscaping. Additionally, the

proposed improvements will include new light poles with hanging flower baskets, a new 30 foot high flag pole, two new surveillance cameras overlooking the guard house, re-facing of the perimeter wall finish, re-stripping of the parking lot, a new monument wall with signage and new directional signage.

Issue 2: Parking

Currently, Gate 1 entrance maintains eight parking spaces. The project as proposed will re-stripe the entrance parking area to include one handicap parking space in order to meet ADA requirements. As a result, the overall parking will be reduced by one space resulting in a total of seven parking spaces. Per section 13.18.070 of the Municipal Code, a minimum of two parking spaces are required as shown below.

Gate House 1: Parking Demand

Land Use	Parking Rate	New Building Area	Required # of Parking Stalls
Office	1/250 s.f.	236 s.f.	1
Storage	1/1,000 s.f.	39 s.f.	1
TOTAL		275 s.f.	2 (7 provided)

Issue 3: Monument Wall/Signage

The applicant is proposing to construct a new monument wall between the entrance and exit driveway on El Toro Road. The wall as proposed is five feet in height and 24 feet in length. On each end of the monument wall are 24” square pilasters with approximately 36” square precast concrete cap. The monument wall will provide signage for the Laguna Woods Village Gate 1 entrance as shown on the attached Site Elements, Details, and Materials exhibit. “Laguna Woods Village” with leaf logo and “Gate 1” sign face will result in less than 19 square feet. Section 13.20.070 of the municipal code permits one monument sign per entrance. Maximum height of monument wall shall not exceed 5 ½ feet with a maximum aggregate sign area of 40 square feet. As proposed, the new monument wall and entry signage conforms to the city’s municipal code.

In addition to the new monument wall, the applicant proposes to enhance a portion of the existing perimeter wall with new plaster/stucco, brick/tile accent wall cap, precast concrete wall base, vine planting cutouts, pilasters and shepherds hook extending the height of the perimeter wall from 5 ½ feet to six feet in height. Please note as proposed, the perimeter wall with shepherds hook is six feet in height and the proposed pilasters located approximately 30’ on center is 6 ½ in height. Per section 13.16.180

(b) of the municipal code; screen heights along district boundaries shall not be less than six feet in height. The wall renovation as proposed is in conformance with the city's municipal code.

The two existing "Gate 1" identification signs along the perimeter wall entrance have been removed and replaced with one new monument wall sign as discussed above.

Additionally, four traffic signs are proposed along the entrance and exit of the community providing safety and directional guidance to vehicle traffic. Each sign is four feet in height and constructed of metal posts with aluminum sign panels with silk screened graphics. No up lighting is proposed. Section 13.20.110 (a)(8) of the municipal code permits private traffic control signs to be erected without a sign permit so long as the signage does not interfere with, mislead or confuse traffic on City-owned streets. All proposed traffic directional signage is in conformance with the city's municipal code.

Issue 4: Landscape

As proposed, the applicant is removing nine of the existing 14 trees on site. Four Magnolia trees southeast of the guard house and one Cape Myrtle tree along El Toro frontage will remain in place. New Landscaping will include two - 36" box Jacaranda tree (a flowering accent tree) and two - 24" Strawberry Trees as focal point trees behind the monument wall. Additionally, Shrubs, vines, and groundcover are proposed throughout the entrance. Per section 4.26.060 of the municipal code, trees shall be replaced by the caliper inch, such that for every inch of diameter (DBH) removed, an equal number of caliper inches shall be replaced. As illustrated on the submitted plans, the applicant is removing seven trees with a total caliper of 50" DBH and planting four new trees with a total caliper of 7". As a result, the applicant proposes to plant twenty nine - 24" box trees at 1.5" caliper each (43.5" total caliper) elsewhere within the owner's property. As a condition of approval (condition no. 26), staff is requiring the applicant to provide additional trees resulting in a total of 50.5" caliper to be planted on site in a similar location, on site in a different location, or off-site based on the determination of the City Forester.

Issue 5: Other Requirements

Projects that require discretionary review and approval are subject to an environmental assessment and conditions that are considered to be necessary in order to account for potential impacts that might not be accounted for in the traditional development review process. For the Gate 1 Entrance, staff has included both standard as well as project

specific conditions. As noted above, condition no. 26 requires the applicant to provide a landscape plan showing the location of the additional trees with a total of 43.5" DBA. Additionally, condition no. 27 requires the applicant to guaranty the tree's health for a period of not less than two years. For more detail on these and other conditions, please refer to the Draft Conditions of Approval as attached.

Issue 5: Required findings

The purpose of a site development permit is to provide for administrative review of detailed development plans for a proposed use. Uses that require a site development permit are regarded as having a relatively low potential for adverse impacts on the subject site or surrounding community due to the nature or magnitude of the use, the sensitivity of the subject site or surrounding community.

The approving authority may approve the proposed discretionary permit provided they can make the required findings, subject to the conditions of approval.

1. The proposed use or project is consistent with the City of Laguna Woods General Plan; and
2. The proposed use, activity or improvement(s) is consistent with the provisions of the Zoning Code; and
3. The approval of the permit application is in compliance with the requirements of the California Environmental Quality Act; and
4. The location, size, design and operating characteristics of the proposed use will not create conditions or situations that may be incompatible with other permitted uses in the vicinity; and
5. The approval of the permit application will not result in conditions or circumstances contrary to the public health, safety, and general welfare; and
6. The approval of the permit application is in compliance with all City required public facilities regulations.

Environmental Review:

The proposed project is categorically exempt from the requirements for the preparation of environmental documents under section 15302(b) "Replacement or Reconstruction" of the California Environmental Quality Act.

Conclusion:

As proposed, the gate 1 guard house is architecturally compatible with the surrounding area and the entrance renovations will provide improvements to the traffic flow for residents and guests as they enter and exit the project area. As proposed, the site provides adequate parking, is consistent with the required findings, and meets the needs of the Laguna Woods Village community. Therefore, Staff recommends that the Land Use and Design Review Committee review and approve Site Development Permit SDP-713 subject to the conditions of approval.

Attached: 1. Location Map
 2. Draft Conditions of Approval
 3. Site Plans



Gate 1
24102 El Toro Road

***DRAFT CONDITIONS OF APPROVAL
SDP 713***

GENERAL PROJECT CONDITIONS

1. This permit (SDP 713) is issued for the construction of a new guard house and exterior renovations at the Gate 1 entrance into the Laguna Woods Village Community stamped approved on July 14, 2011. All applicable City standards and conditions shall be in place unless specifically superseded by the project conditions referenced within.
2. The applicant or successor in interest shall abide by and faithfully comply with any and all conditions of this permit. Failure to comply with the conditions of this permit constitutes grounds for revocation of said permit by the City of Laguna Woods City Council.
3. The applicant or successor in interest shall agree, as a condition of issuance of this permit, to (at its sole expense) defend, indemnify, and hold harmless the City, its officers, employees, agents and consultants from any claim, action, or proceeding against the City, its officers, agents, and employees to attach, set aside, void or annul an approval of the City Council, Planning Agency, or other decision-making body, or staff action concerning this project. The applicant or successor in interest shall pay the City's defense costs and shall reimburse the City for court costs and attorney fees that the City may be required by a court to pay as a result of such defense. The applicant or successor in interest may at its sole discretion participate in the defense or any such action under this condition.
4. The permit is granted for the property as described in the application and shall not be transferable from one parcel to another.
5. This permit shall become null and void within 24 months from the date of the permit issuance, unless the proposed development or use has been diligently pursued. The issuance of a grading, foundation, or building permit for structural construction shall be a minimum requirement for evidence of diligent pursuit.

6. All proposed construction and modification associated with the approved change plan shall comply with the provisions of the Building Code for new buildings and structures as stated in Section 3404 of the Building Code.
7. The construction or use by the applicant or successor in interest of any activity or structure authorized by this permit shall constitute acceptance of all of the conditions and obligations imposed by the City on this permit. The applicant or successor in interest by said acceptance waives any challenge as to the validity of these conditions.
8. The applicant or successor in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
9. Any covenants, conditions, and restrictions (CC&R's) applicable to the subject property shall be consistent with the terms of this permit and the Laguna Woods City Code. Where a conflict exists between the CC&R's and City regulations, the City regulations shall prevail.
10. The applicant or successor in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions. Fees shall be due within 60 day of approval or prior to final approval of related building permits, whichever occurs first.

PLANNING STANDARD CONDITIONS

11. Prior to the issuance of a building permit the applicant or successor in interest shall obtain approval of a Site Development Permit. The approved Site Development Permit will be considered a precise plan and shall contain the information required to satisfy the conditions of approval as well as the detail necessary to initiate the construction process.
12. This approval constitutes approval of the project only to the extent that it complies with the City Zoning Code and any other applicable City standards. Approval does not eliminate the need for building permits or

include any action or finding as to compliance or approval of any other applicable Federal, State or Local ordinance, regulation or requirements.

13. Except as otherwise provided herein, this permit is approved as a "concept plan" for the location and design of the uses, structures, features, and materials, shown on the approved plans. After an application has been approved, a change plan may be submitted to the City's Community Development Director for any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved in the original application. If Community Development Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the changed plan as for the approved plot plan, he may approve the changed plan without requiring a new public hearing.
14. The applicant or successor in interest shall record with the County of Orange Recorder a "**Notice of Land Use Restrictions and Conditions**" in a form acceptable to the Community Development Department. A copy of the recorded document shall be submitted to the Community Development Department prior to issuance of building permits or initiation of use.
15. A building permit shall be secured for any new construction or modifications to structures, including interior modifications, authorized by this permit. The applicant or successor in interest shall submit three (3) sets of plans stamped and signed by the architect or engineer to the Building Department for review, approval and issuance of a building permit.
16. The cover sheet of the building construction documents shall contain the City's **final** conditions of approval and it shall be attached to each set of plans submitted for City approval or shall be printed on the title sheet verbatim.
17. Construction work may not commence before 7 a.m. and must cease by 8 p.m., Monday through Saturday, and no construction activity is permitted on Sundays or Federal holidays.

18. Prior to the issuance of a building permit, proof of all approvals from applicable outside departments and agencies including the Orange County Fire Authority, Orange County Health Care Agency, and State Water Resources Control Board is required.
19. The site must be maintained free of trash, debris and refuse. All graffiti must be removed within 72 hours.
20. All project signage shall be reviewed and constructed under separate permits, unless specifically referenced in the planning approval.
21. All exterior lighting shall be designed in such a manner that direct lighting is confined to the property and oriented to minimize visual glare to adjacent properties.
22. Prior to the issuance of a building permit, the applicant or successor in interest shall pay all transportation / road improvement fees including; the San Joaquin Transportation Corridor (SJTC) fee, Coastal Area Roadway Improvements and Traffic Signals (CARITS) fee, and the Mouton-Niguel fee program.
23. Prior to the issuance of a building permit, the applicant or successor in interest shall pay all applicable library fees and school district fees.
24. Prior to the issuance of a building permit the applicant or successor in interest shall obtain an approved precise grading permit for development of the proposed building.
25. All conditions of this permit, including any off-site and on-site improvements, including building, paving, and landscape construction, shall be completed prior to occupancy except as may be permitted by the Community Development Director in consultation with other affected departments. In the event early occupancy is permitted, the applicant or successor in interest shall provide security or agreements to ensure full completion of the project.

PLANNING SPECIAL CONDITIONS

26. The applicant or successor in interest shall provide a landscape plan showing the location of the additional trees with a total 43.5" DBA. The

landscape plan shall be reviewed and approved prior to the issuance of a building permit.

27. The applicant or successor in interest shall guaranty the tree's health for a period of not less than two years.

WATER QUALITY & LANDSCAPE STANDARD CONDITIONS

28. The applicant or successor in interest shall provide a Water Pollution Control Plan (WPCP). The WPCP must be approved, in writing, by the City prior to the issuance of a building permit or grading permit. Submittal of a WPCP requires an initial deposit of \$500. During construction, the WPCP must be fully implemented.
29. The applicant or successor in interest shall provide a Water Quality Management Plan (WQMP). The WQMP must be approved, in writing, by the City prior to the issuance of a building permit or grading permit. Submittal of a WQMP requires an initial deposit of \$900. Within the WQMP, the applicant or successor in interest is required to evaluate the feasibility of low impact development concepts for the project, particularly for paved surface areas. Please note, pursuant to the Santa Ana Regional Water Quality Control Board, additional/new regulations shall apply should the WQMP not be approved before August 19, 2011.
30. Prior to Certificate of Occupancy, the City shall inspect the project and verify that the WQMP has been fully implemented.
31. The applicant or successor in interest shall provide landscaping for the project designed to comply with the City's Water Efficient Landscape Ordinance (Chapter 4.28 of the Laguna Woods Municipal Code) and Guidelines for Implementation of the Water Efficient Landscape Ordinance. A Landscape Documentation Package (LDP) in form sufficient to the City must be acknowledged, in writing, by the City prior to the issuance of a building permit or grading permit.
32. Following landscape installation and prior to Certificate of Occupancy, the LDP must be finalized by the applicant or successor in interest and acknowledged, in writing, by the City.

33. The applicant or successor in interest shall provide two (2) sets of landscape and irrigation construction documents for review and approval prior to the issuance of a building permit. The proposed landscape plans shall be consistent with the City's landscape standards and must be prepared by a licensed landscape architect.

BUILDING AND ENGINEERING CONDITIONS

34. All proposed construction and modification associated with the approved project shall comply with the provisions of the California Building Code for new buildings and structures applicable at time of construction.
35. This project may contain existing survey monuments, which may be disturbed through construction activities and deemed necessary for preservation by the City Engineer. If such monuments will be disturbed, the applicant or successor in interest shall have a licensed Land Surveyor or qualified Registered Civil Engineer tie out monumentation affected by the project and submit preliminary corner records to the City Engineer. After approval by the City Engineer, the applicant or successor in interest shall file the corner records with the County Surveyor. Prior to the issuance of a grading permit evidence of such filing shall be furnished to the City Engineer. Any monuments disturbed during the construction of the project shall be re-set by a licensed Land Surveyor or qualified Registered Civil Engineer in accordance with the above described corner records and shall be inspected by the City Engineer prior to exoneration of any security.
36. Prior to demolition of any existing buildings, the applicant or successor in interest shall obtain a Demolition Permit and demonstrate compliance with State classified hazardous materials remediation requirements.
37. The potential exists that some of the solid waste resulting from the demolition, dismantling, or other deconstruction of the buildings and other structures at the property may be contaminated with materials that render it unsuitable for recycling or reuse. Prior to the issuance of any grading permit or building permit involving the demolition of the existing building, a technical evaluation shall be prepared and submitted to the Director of Public Works to determine the suitability of the solid waste generated by the demolition for recycling or other diversion programs. If

it is determined by the technical evaluation that material from the deconstruction of the site is contaminated and prohibited from being recycled by ordinary means, a further evaluation must be conducted to identify and evaluate other feasible methods approved by State law to divert the material from landfills. This may include the delivery of the waste material to other appropriate non-disposal or transformation facilities, such as "waste-to-energy" (WTE) plants.

38. For that solid waste which is determined (through the technical evaluation required in Condition 37 above to be inappropriate for recycling (as that term is defined by California Public Resources Code Section 40180), the project applicant must submit a written plan to the Community Development Director and implement such plan to ensure that 50% of the solid waste material from the project, or the maximum amount feasible as determined by the technical evaluation, is diverted from the landfill through other methods that comply with State statutes and regulations.
39. During the demolition and construction phases, to ensure ongoing compliance with Conditions 37 & 38, the applicant or successor in interest shall be required to submit solid waste tonnage reports to the Director of Public Works on City approved forms, accompanied by "weight ticket" receipts from state-certified disposal, non-disposal, or transformation facilities, on a quarterly basis to demonstrate that solid waste diversion has occurred in accordance with these required conditions and in a manner that is consistent with the Construction, Demolition Waste Ordinance, and not detrimental to the efforts of the City of Laguna Woods to comply AB939.
40. The project shall comply with all Title 24 of the California Code of Regulations established by the Energy Commission regarding energy conservation standards.
41. Prior to the issuance of grading permits, the applicant or successor in interest shall include a note on all grading plans that requires the construction contractor to implement the following measures during grading. These measures shall also be discussed at the pre-grade conference.

- a. The following additional dust suppression measures in the SCAQMD CEQA Air Quality Handbook shall be incorporated into the proposed project:
- All excavating and grading operations shall be suspended when wind speeds (as instantaneous gusts) exceed 25 mph.
 - All streets shall be swept once a day using SCAQMD Rule 1186 certified street sweepers or roadway washing trucks if visible soil materials are carried to adjacent streets (recommend water sweepers with reclaimed water).
 - Install wheel washers where vehicles enter and exit unpaved roads onto paved roads, or wash trucks and any equipment leaving the site each trip.
 - All on-site roads shall be paved as soon as feasible, watered periodically or chemically stabilized.
 - The area disturbed by clearing, grading, earthmoving, or excavation operations shall be minimized at all times.
- b. The Construction Contractor shall select the construction equipment used on site based on low emission factors and high energy efficiency. The Construction Contractor shall ensure that construction grading plans include a statement that all construction equipment will be tuned and maintained in accordance with the manufacturer's specifications.
- c. The Construction Contractor shall utilize electric or diesel powered equipment in lieu of gasoline powered engines where feasible. If available, diesel equipment will be required to use ultra low sulfur diesel (less than or equal to 15 ppm), particulate traps, and oxidation catalysts.
42. Prior to the issuance of grading permits, the applicant or successor in interest shall submit for approval to the State Water Resources Control Board, a Notice of Intent to be covered under the Storm Water Permit. Additionally, the applicant or successor in interest shall prepare a SWPPP which will: 1) require implementation of Best Management Practices (BMPs) so as to prevent a net increase in sediment load in

storm water discharges relative to preconstruction levels; 2) prohibit during the construction period discharges of storm water or non-storm water at levels which would cause or contribute to an exceedance of applicable water quality standards contained in the Basin Plan; 3) describe in detail the BMPs planned for the project related to control of sediment and erosion, non-sediment pollutants, and potential pollutants in non-storm water discharges; 4) describe post-construction BMPs for the project; 5) explain the maintenance program for the project's BMPs; 6) during construction, require reporting of violations to the Regional Board; and 7) list the parties responsible for SWPPP implementation and BMP maintenance during and after grading. The applicant or successor in interest shall implement the SWPPP and will modify the SWPPP as directed by the Storm Water Permit. A copy of the SWPPP shall be kept at the project site and be available for City review on request.

43. Prior to the issuance of grading permits, the applicant or successor in interest shall include a note on all grading plans that requires the construction contractor to implement the following measures during grading. These measures shall also be discussed at the pre-grade conference.
- Sediment from areas disturbed by construction shall be retained on site using structural controls to the maximum extent practicable.
 - Appropriate Best Management Practices (BMPs) for construction-related materials, wastes, spills or residues shall be implemented to minimized transportation from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
 - Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to reduce or remove sediment and other pollutants.
 - All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.

- At the end of the day of construction activities all construction debris and waste materials shall be collected and properly disposed in trash recycle bins.
 - Construction sites shall be maintained in such a condition that a storm does not carry wastes or pollutants off the site. Dischargers other than stormwater (non-stormwater discharges) are authorized under California's General Permit for Storm Water Discharges Associated with Construction Activity only where they do not cause or contribute to a violation of any water quality standard and are controlled through implementation of appropriate BMPs for elimination or reduction of pollutants. Non-stormwater discharges must be eliminated or reduced to the extent feasible.
 - Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime pesticides, herbicides, fertilizers, wood preservatives, and asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; floatable wastes, wastes from any engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and superchlorinated potable water line flushing and testing.
 - During construction, disposal of such materials should occur in a specified and controlled temporary area on-site physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
 - Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging of non-contaminated groundwater produced by dewatering activities requires a National Pollutant Discharge Elimination System (NPDES) permit from the Santa Ana Regional Water Quality Control Board.
44. The City retains the right to inspect the premises for compliance with the City's storm water programs and NPDES permit requirements.

45. Prior to issuance of each grading permit, the applicant or successor in interest shall incorporate the following measures as a note on the grading plan cover sheet to ensure that the greatest distance between noise sources and sensitive receptors during construction activities has been achieved. This language shall be approved by the Director of Community Development.
 - a. Construction equipment, fixed or mobile, shall be maintained in proper operating condition with approved noise mufflers.
 - b. Stationary equipment shall be placed such that emitted noise is directed away from residential areas to the greatest extent feasible.
46. This project will result in new construction that will generate solid waste. Prior to the issuance of precise grading permits, the applicant or successor in interest shall show on the site plans the location of receptacle(s) to accumulate on-site generated solid waste for recycling purposes. At the discretion of the Director of Community Development the developer of a nonresidential project may be permitted to contract with a waste recycler for off-site materials recovery. In this case the applicant must provide a letter verifying that recycling will be conducted off site in an acceptable manner.
47. Prior to the issuance of grading permits, the applicant or successor in interest shall place a note on the cover sheet of the plan that states, "All stationary emission sources shall comply with the regulations adopted by the South Coast Air Quality Management District."
48. In conjunction with the submittal of applications for precise grading permits, the applicant or successor in interest shall submit to the City Engineer detailed drainage studies showing that the project grading, in conjunction with the drainage conveyance systems, will allow project building pads to be safe from inundation from rainfall runoff from all storms up to, and including, the theoretical 100-year storm. This drainage study shall also provide for the following:
 - a. Provisions shall be made for the interception of all drainage leaving the Gate 1 watershed prior to the surface runoff entering the El Toro Road right-of-way in an underground storm drain system which shall be

- connected to the City storm drain system in El Toro Road at the Gate 1 entry, all in a manner meeting the approval of the City Engineer.
- b. All provisions for water quality treatment shall be incorporated into this design prior to its approval by the City Engineer.
49. In conjunction with the submittal of applications for preliminary or precise grading permits, the applicant or successor in interest shall submit a siltation control program to the City Engineer to comply with City standards.
50. This project may contain existing survey monuments, which may be disturbed through construction activities and deemed necessary for preservation by the City Engineer. If such monuments will be disturbed, the applicant or successor in interest shall have a licensed Land Surveyor or qualified Registered Civil Engineer tie out monumentation affected by the project and submit preliminary corner records to the City Engineer. After approval by the City Engineer, the applicant or successor in interest shall file the corner records with the County Surveyor. Prior to the issuance of a grading permit evidence of such filing shall be furnished to the City Engineer. Any monuments disturbed during the construction of the project shall be re-set by a licensed Land Surveyor or qualified Registered Civil Engineer in accordance with the above described corner records and shall be inspected by the City Engineer prior to exoneration of any security.
51. Prior to the issuance of precise grading permits that establish a finish floor elevation, a site specific geotechnical study will be provided for each proposed structure. The geotechnical report shall be prepared by a registered civil engineer or certified engineering geologist, having competence in the field of seismic hazard evaluation and mitigation. The geotechnical report shall contain site-specific evaluations of the seismic hazard affecting the project, and shall identify portions of the project site containing seismic hazards. The report shall also identify any known off-site seismic hazards that could adversely affect the site in the event of an earthquake. The contents of the geotechnical report shall include, but shall not be limited to, the following:
- a. Project description.

- b. A description of the geologic and geotechnical conditions at the site, including an appropriate site location map.
 - c. Evaluation of site-specific seismic hazards based on geological and geotechnical conditions, in accordance with current standards of practice.
 - d. Recommendations for appropriate mitigation measures.
 - e. Name of report preparer(s), and signature(s) of a certified engineering geologist and/or registered civil engineer, having competence in the field of seismic hazard evaluation and mitigation.
 - f. Include the official professional registration or certification number and license expiration date of each report preparer in the signature block of the report.
52. Prior to issuance of a Certificate of Occupancy, the applicant or successor in interest shall:
- a. Demonstrate that all structural best management practices (BMPs) described in the project's WQMPs have been constructed and installed in conformance with approved plans and specifications,
 - b. Demonstrate that applicant or successor in interest is prepared to implement all non-structural BMPs described in the project's WQMPs,
 - c. Demonstrate that an adequate number of copies of the project's approved WQMPs are available onsite,
 - d. Submit for review and approval by the City an Operations and Maintenance (O&M) Plan for all structural BMPs.

Orange County Fire Authority

53. Prior to the issuance of a building permit, the applicant or successor in interest shall submit plans for any required automatic fire sprinkler system in any structure to the Fire Chief for review and approval. Please contact the Orange County Fire Authority at (714) 573-6100 to request a copy of the "Orange County Fire Authority Notes for New NFPA 13 Commercial Sprinkler Systems."

54. Prior to the issuance of a certificate of use and occupancy, this system shall be operational in a manner meeting the approval of the Fire Chief.
55. Prior to the issuance of a grading permit, the applicant or successor in interest shall submit plans and obtain approval from the Fire Chief for fire lanes on required fire access roads less than 36 feet in width. The plans shall indicate the locations of red curbs and signage and include a detail of the proposed signage including the height, stroke and colors of the lettering and its contrasting background. Please contact the OCFA at (714) 573-6100 or visit the OCFA website to obtain a copy of the "Guidelines for Emergency Access Roadways and Fire Lane Requirements."
56. Prior to the issuance of any certificate of use and occupancy, the fire lanes shall be installed in accordance with the approved fire lane plan. The CC&R's or other approved documents shall contain a fire lane map, provisions which prohibit parking in the fire lanes and a method of enforcement.
57. Prior to the issuance of a building permit, the applicant or successor in interest shall submit to the Fire Chief a list of all hazardous, flammable and combustible liquids, solids or gases to be stored, used or handled on site. These materials shall be classified according to the Uniform Fire Code and a document submitted to the Fire Chief with a summary sheet listing the totals for storage and use for each hazard class. Please contact the Orange County Fire Authority at (714) 573-6100 or visit the OCFA website to obtain a copy of the "Guideline for Completing Chemical Packets."
58. Prior to the issuance of any building permit, the applicant or successor in interest shall submit architectural plans for the review and approval of the Fire Chief if required per the "Orange County Fire Authority Plan Submittal Criteria Form." Please contact the OCFA at (714) 573-6100 for a copy of the Site/Architectural Notes to be placed on the plans prior to submittal.
59. Prior to the issuance of any building permit, plans for the fire alarm system shall be submitted to the Fire Chief for review and approval. Please contact the OCFA at (714) 573-6100 or visit the OCFA website to

obtain a copy of the “Guideline for New and Existing Fire Alarm Systems.”

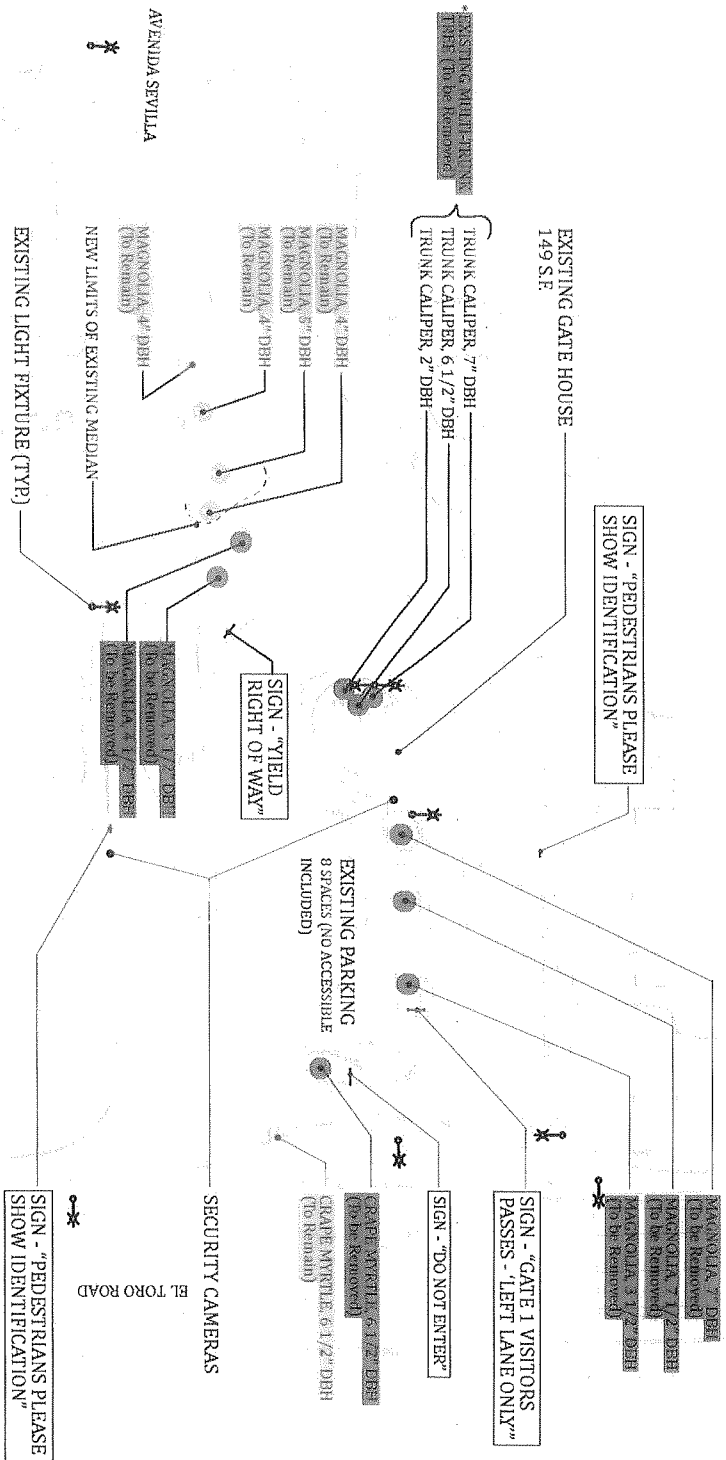
60. This system shall be operational prior to the issuance of a certificate of use and occupancy.

TREE REMOVAL LEGEND

Trees to be Removed per Existing Conditions Plan
Total Caliper Removed: 50"

Tree Replacement per Conceptual Landscape Plan
36" Box - 2 ea @ 2" Caliper = 4" Caliper
24" Box - 2 ea @ 1.5" Caliper = 3" Caliper
= 7" Caliper

Tree Replacement to be Located elsewhere within
Owner's Property:
24" Box - 29 ea @ 1.5" Caliper = 43.5" Caliper
Total Caliper of Replacement Trees = 50.5" Caliper



* HEALTH AND STRUCTURE OF TREE TO BE EVALUATED BY CERTIFIED ARBORIST PRIOR TO REMOVAL.

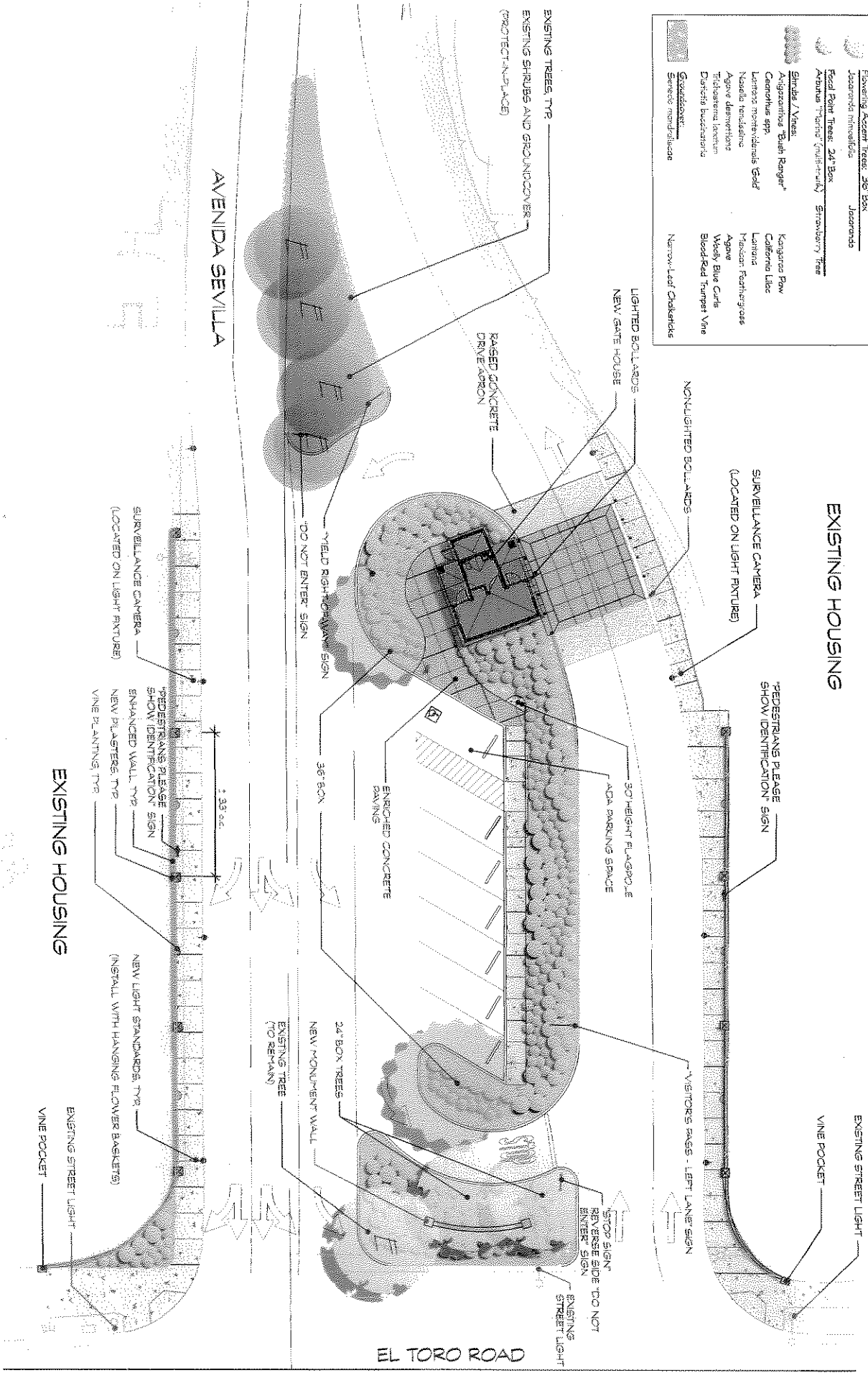


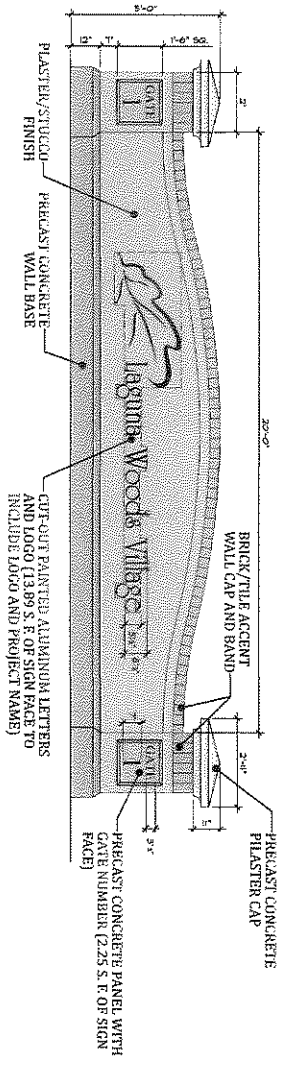
LAGUNA WOODS VILLAGE - GATE 1 ENTRANCE
LAGUNA WOODS, CALIFORNIA
JUNE 23, 2011

EXISTING CONDITIONS / TREE REMOVAL

Legend	
	Flowering Acacia Trees: 36" Box
	Jacaranda mimifolia
	Royal Palm Trees: 24" Box
	Avocado Trees (medium size)
	Avocado Trees (small size)
	Shrubs / Vines
	Argemone Blue Ranger
	Caenothus spp.
	Laurus novboracensis Gold
	Navelia mandarin
	Agave attenuata
	Trichocereus leucum
	Distichlis baccata
	Standards
	Standard - narrow leaf cholla
	Kangaroo Paw
	California Lilac
	Lavender
	Mexican Feathergrass
	Agave
	Waddy Blue Gums
	Blood-red Temper Vine
	Narrow-leaf Cholla

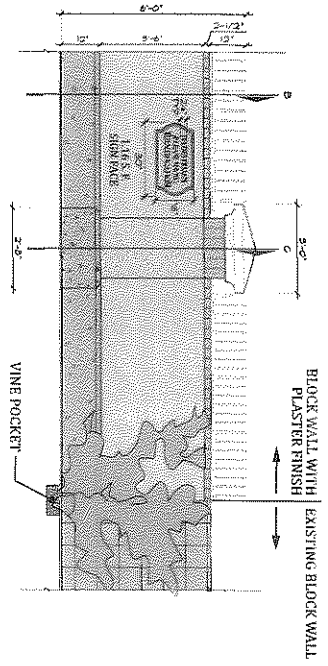
EXISTING HOUSING



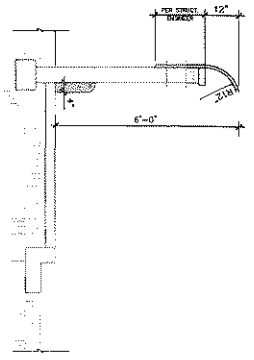


NOTE: SIGN MONUMENT TO BE UPLIGHTED BY 4' FLUORESCENT SIGN FIXTURE

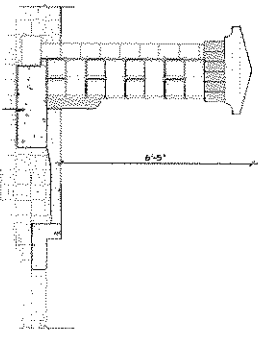
ENTRY MONUMENT WALL 1/2" = 1'-0"



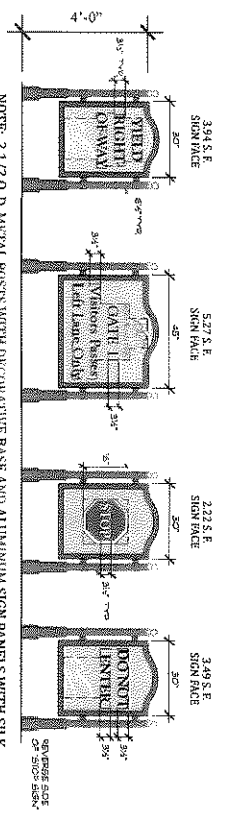
TYPICAL WALL ELEVATION



TYPICAL WALL SECTION WITH SHEPHERD'S HOOK



TYPICAL SECTION AT PLASTER

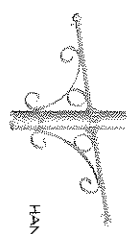


TRAFFIC SIGNAGE 1/2" = 1'-0"

LIGHT STANDARD



HANGING BRACKET 'A'



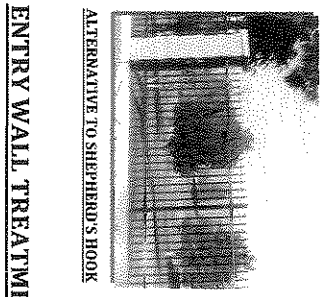
HANGING BRACKET 'B'



HANGING FLOWER BASKET

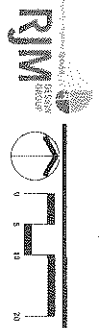


BOLLARD

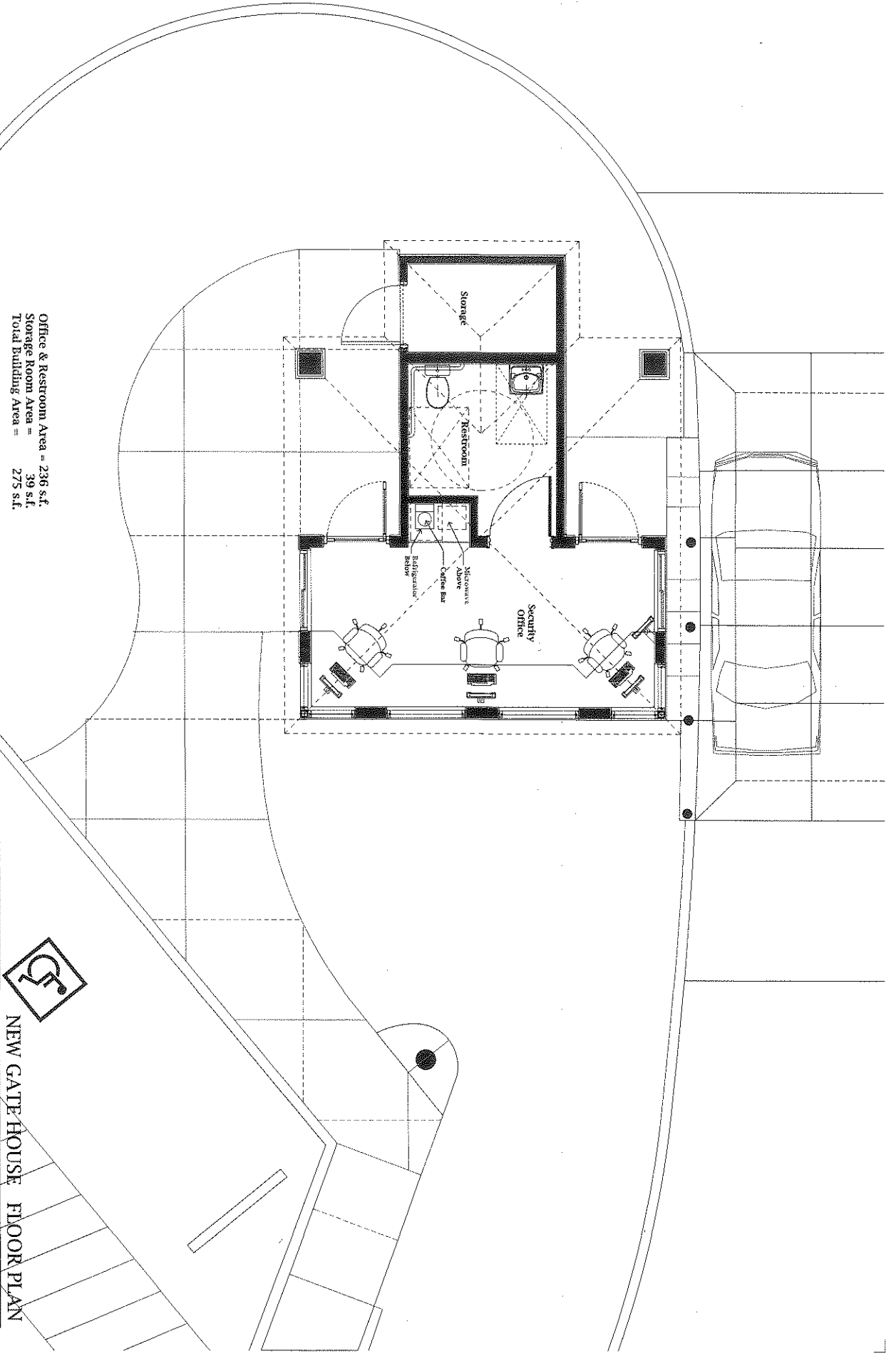


ALTERNATIVE TO SHEPHERD'S HOOK

ENTRY WALL TREATMENT AND LIGHTING 1/2" = 1'-0"



SITE ELEMENTS, DETAILS, AND MATERIALS
LAGUNA WOODS VILLAGE - GATE 1 ENTRANCE
 JUNE 14, 2011
 LAGUNA WOODS, CALIFORNIA



Office & Restroom Area = 236 s.f.
 Storage Room Area = 39 s.f.
 Total Building Area = 275 s.f.



NEW GATE HOUSE FLOOR PLAN

LAGUNA WOODS VILLAGE - GATE 1 ENTRANCE

June 8, 2011

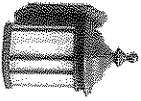
LAGUNA WOODS, CALIFORNIA

DATE: 06/08/11
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]
 PROJECT NO.: [illegible]

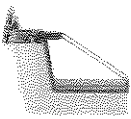




Half Round Copper Gutters



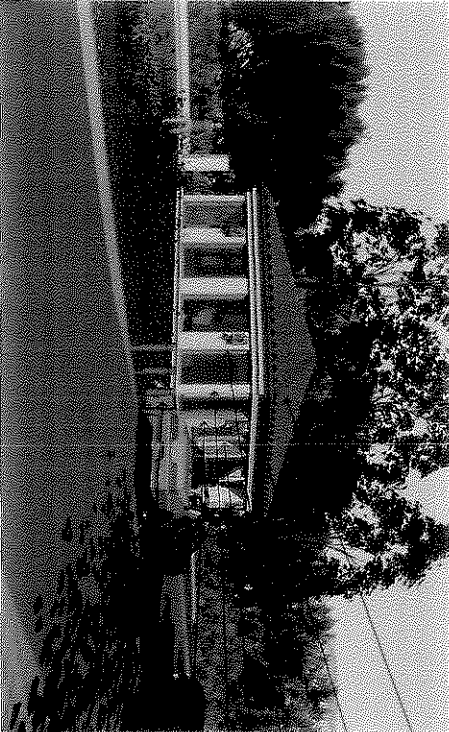
Decorative Light Fixtures



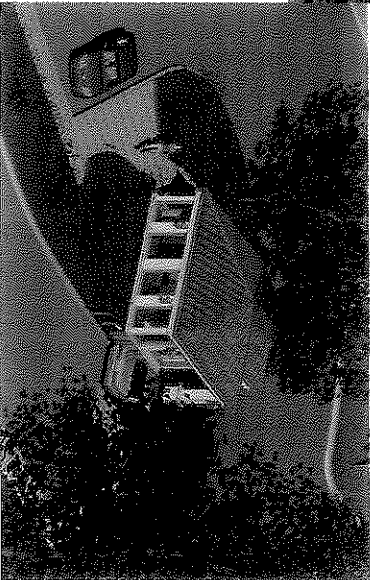
Aluminum Windows



East Driveway View



Main Entry View



Overhead View



Two Piece Clay Roof Tile



Smooth Santa Barbara Finish

Two Piece Clay Tile Roof

Copper Gutters and Downspouts

Painted Aluminum Windows

Outsourced Automatic Sliding Windows

Steel Posts at Corners

Santa Barbara Smooth Plaster

Painted Dunn Edwards #DE0198

Cream White at building walls

Santa Barbara Smooth Plaster

Painted Dunn Edwards #DE0199

"Pale Bech" at building base

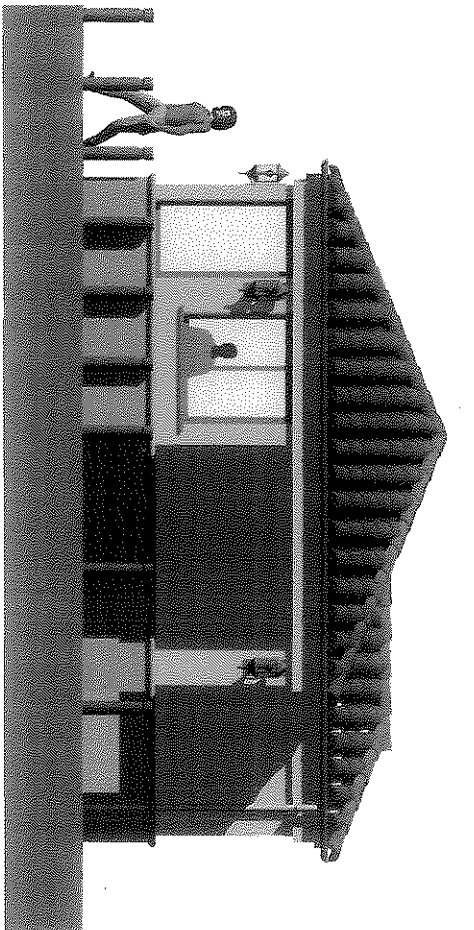
NEW GATE HOUSE - EXTERIOR IMAGES and MATERIALS

LAGUNA WOODS VILLAGE - GATE 1 ENTRANCE

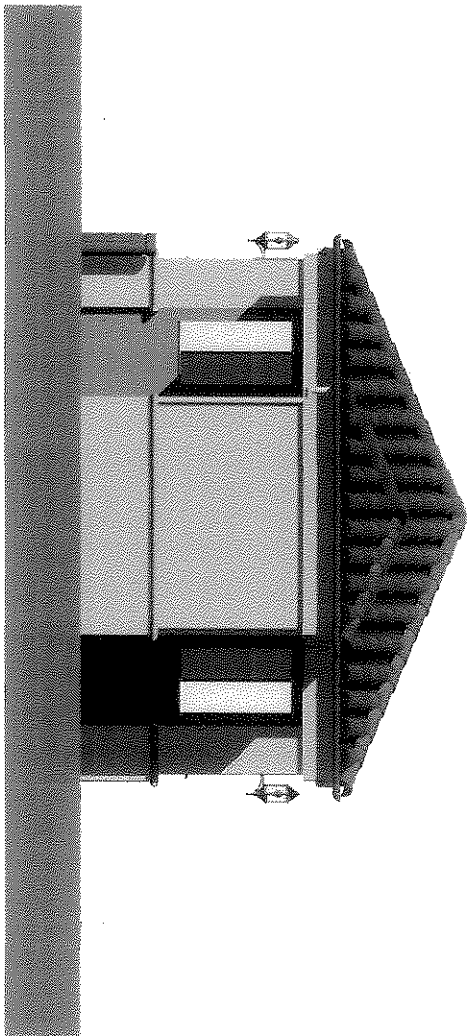
June 8, 2011

LAGUNA WOODS, CALIFORNIA

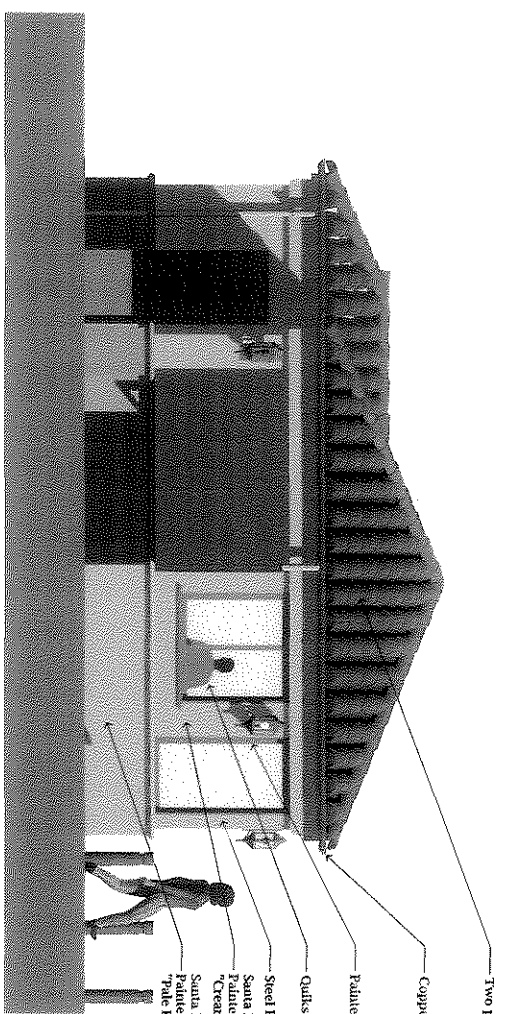




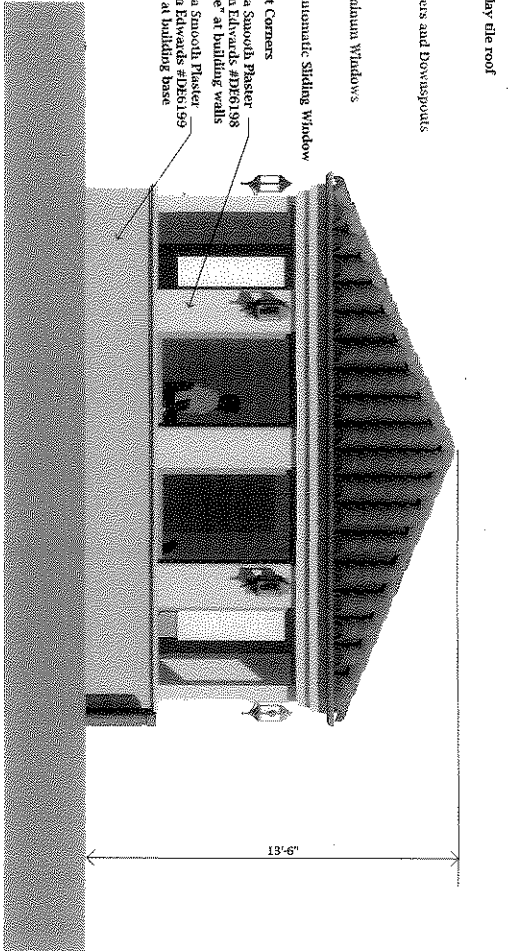
East Elevation



South Elevation



West Elevation

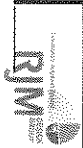


North Elevation

- Two piece clay tile roof
- Copper Gutters and Downspouts
- Painted Aluminum Windows
- Galvalume Automatic Sliding Window
- Steel Posts at Corners
- Santa Barbara Smooth Plaster
- Painted Dunn Edwards #1206198 "Ocean White" at building walls
- Santa Barbara Smooth Plaster
- Painted Dunn Edwards #1206199 "Pale Beach" at building base

13'-6"

PROJECT ARCHITECT
 DATE
 NO. OF SHEETS
 SHEET NO.
 OF TOTAL SHEETS



NEW GATE HOUSE - EXTERIOR ELEVATIONS
LAGUNA WOODS VILLAGE - GATE 1 ENTRANCE
 June 8, 2011
 LAGUNA WOODS, CALIFORNIA